

EXHIBIT NO. 1

3  
12-14-02

Docket Item # 2  
SPECIAL USE PERMIT #2002-0095

Planning Commission Meeting  
December 3, 2002

**ISSUE:** Consideration of a request for a special use permit for a restaurant.

**APPLICANT:** Subway Real Estate Corporation  
by Christopher Decre

**LOCATION:** 1800 Duke Street

**ZONE:** CDD-1/Coordinated Development District, Duke Street

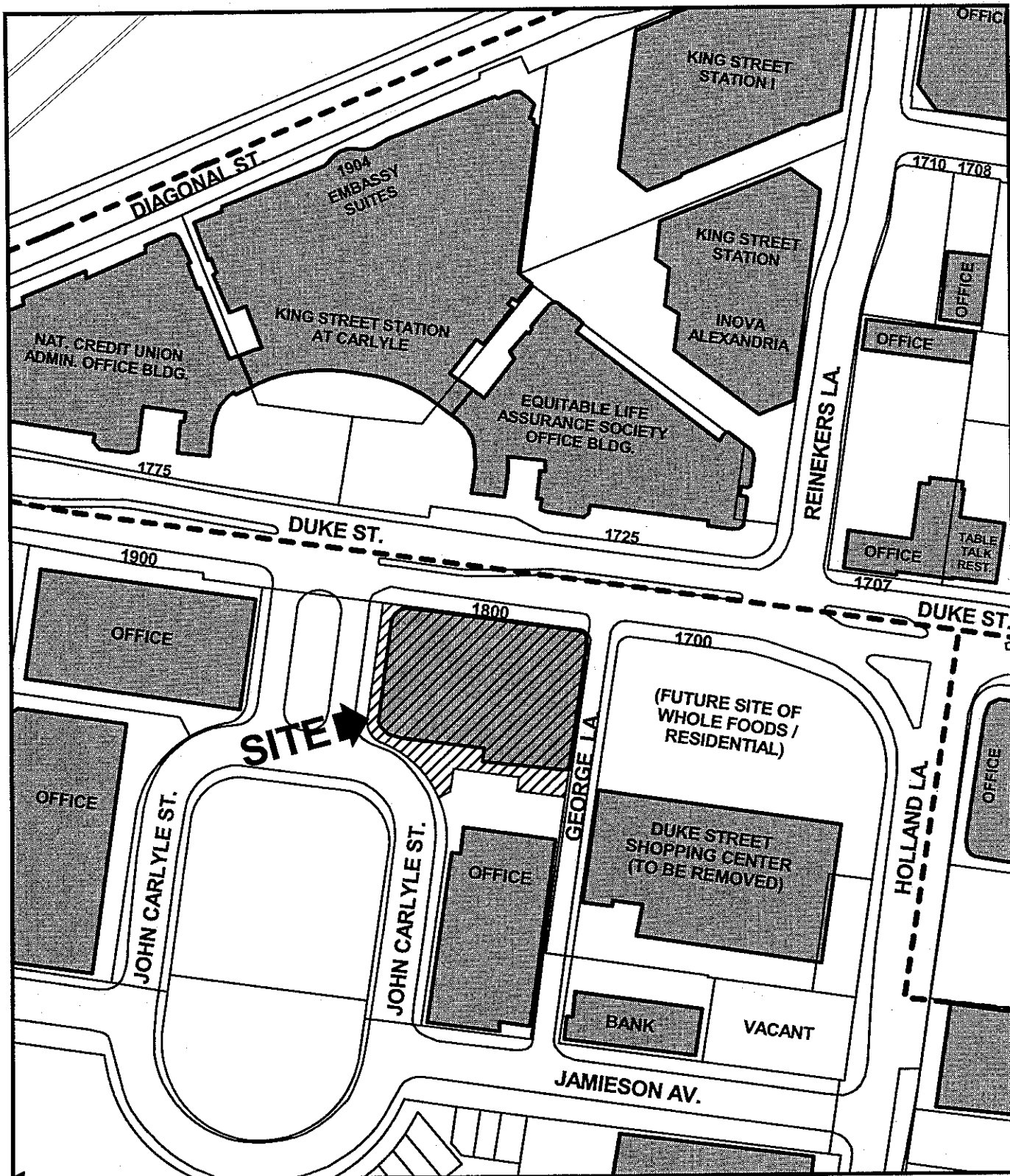
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**PLANNING COMMISSION ACTION, DECEMBER 3, 2002:** By unanimous consent, the Planning Commission recommended approval of the request, subject to compliance with all applicable codes, ordinances and staff recommendations.

Reason: The Planning Commission agreed with the staff analysis.

**PLANNING COMMISSION ACTION, NOVEMBER 7, 2002:** By unanimous consent, the Planning Commission deferred the request.

Reason: The applicant requested the deferral.



**SUP #2002-0095**

**12/03/02**



STAFF RECOMMENDATION:

Staff recommends **approval** subject to compliance with all applicable codes and ordinances and the following conditions:

1. The special use permit shall be granted to the applicant only or to any business or entity in which the applicant has a controlling interest. (P&Z)
2. Seating shall be provided for no more than 50 patrons. (P&Z)
3. No live entertainment shall be provided at the restaurant. (P&Z)
4. The hours of operation shall be limited to between 7:00 a.m. and 12:00 midnight daily. (P&Z)
5. The applicant shall post the hours of operation at the entrance to the restaurant. (P&Z)
6. No alcoholic beverages shall be sold. (P&Z)
7. No food, beverages, or other material shall be stored outside. (P&Z)
8. Trash and garbage shall be placed in sealed containers which do not allow odors to escape and shall be stored inside or in a closed container which does not allow invasion by animals. No trash and debris shall be allowed to accumulate on-site outside of those containers. (P&Z)
9. Litter on the site and on public rights-of-way and spaces adjacent to or within 75 feet of the premises shall be picked up at least twice a day and at the close of business, and more often if necessary, to prevent an unsightly or unsanitary accumulation, on each day that the business is open to the public. (P&Z)
10. Kitchen equipment shall not be cleaned outside, nor shall any cooking residue be washed into the streets, alleys or storm sewers. (T&ES)
11. The applicant shall control cooking odors, smoke and any other air pollution from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Department of Transportation and Environmental Services. (T&ES)
12. Loudspeakers shall be prohibited from the exterior of the building, and no amplified sounds shall be audible at the property line. (T&ES)

13. The applicant shall contact the Crime Prevention Unit of the Alexandria Police Department for a security survey and a robbery awareness program for all employees prior to operation. (Police)
14. Meals ordered before the closing hour may be served, but no new patrons may be admitted and no alcoholic beverages may be served after the closing hour, and all patrons must leave by one hour after the closing hour. (P&Z)
15. The applicant shall conduct employee training sessions on an ongoing basis, and shall discuss all SUP provisions and requirements, as part of that training. (P&Z)
16. The applicant shall require that employees who drive to work use off-street parking. (P&Z)
17. The Director of Planning and Zoning shall review the special use permit one year after approval and shall docket the matter for consideration by the Planning Commission and City Council if (a) there have been documented violations of the permit conditions, (b) the director has received a request from any person to docket the permit for review as a result of a complaint that rises to the level of a violation, or (c) the director has determined that there are problems with the operation of the use and that new or revised conditions are needed. (P&Z)

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Staff Notes:

In accordance with section 11-506(c) of the zoning ordinance, construction or operation shall be commenced and diligently and substantially pursued within 18 months of the date of granting of a special use permit by City Council or the special use permit shall become void.

Any exterior changes to the property visible from a public way including, for example, signs, alterations to entryway, HVAC equipment, ventilating stacks and lights, require review and approval by the Board of Architectural Review.

Prior to the commencement of operation the applicant must obtain a business license from the Business Tax Branch.

DISCUSSION:

1. The applicant, Subway Real Estate Corporation, represented by Christopher Decre, requests special use permit approval for the operation of a restaurant located at 1800 Duke Street.
2. The subject property is one lot of record with 171 feet of frontage on Duke Street, 142 feet of depth and a total lot area of 25,304 square feet. The site is developed with a five-story office building, occupied by the Society for Human Resources Management, and is part of the Carlyle development. The proposed restaurant is located in a 1,674 square foot tenant space that faces Duke Street. The surrounding area is a mix of office and retail, with residential uses a short distance away. Across the street from the subject property is George Washington University, Café Calliope, and Stella's Restaurant. Located south of the subject property is the Patent and Trade Office development.
3. The applicant proposes to operate a restaurant and carry-out business with 50 seats. The menu will consist of standard Subway menu items including submarine-style sandwiches and salads, and gourmet coffee, soups, and a salad bar. Breakfast will also be served and include a variety of hot breakfast sandwiches, omelets and assorted baked items. The restaurant is the second in a series of a new Subway concept: Subway Café. The restaurant differs from the typical Subway primarily with its interior design in that it will have a more upscale look intended to feel less like a fast food chain establishment (see attached photos). The applicant wanted the restaurant to appeal to the level of clientele in the Carlyle Development area. No alcoholic beverages will be served.
4. The hours of operation are proposed to be 7:00 a.m. to 10:00 p.m. Monday through Thursday, 7:00 a.m. to 12:00 a.m. Friday and Saturday, and 10:00 a.m. to 10:00 p.m. on Sunday.
5. There will be no more than six and no fewer than two staff members on duty at any one time. Peak hours are anticipated to be between 11:00 a.m. to 3:00 p.m. The applicant anticipates about 50 patrons an hour during the peak hours.
6. Zoning Ordinance Section 8-200(8) requires one parking space per four seats. In this case the applicant is proposing 50 seats, which requires 13 parking spaces. Parking for the proposed restaurant will be provided in the on-site parking garage accessed from George Lane on the east side of the building.
7. Minimal garbage is expected and includes cardboard boxes and patron garbage in three to four 35-gallon bags a day.
8. Loading will occur two times a week between the hours of 10:00 a.m. and 4:00 p.m. two times a week at the loading dock located adjacent to the garage entrance on George Lane.

9. Zoning: The subject property is located in the CDD/Coordinated development district zone. Section 2-602 (A) of the zoning ordinance identifies OC/Office commercial zone as the underlying zone which allows a restaurant only with a special use permit.
10. Master Plan: The proposed use is consistent with the King Street/Eisenhower Avenue Metro Station chapter of the Master Plan which designates the property for a use consistent with the CDD.

STAFF ANALYSIS:

Staff does not object to the proposed Subway restaurant, although it does have concerns about it. The proposed location of the Subway Café is a prime retail space in Carlyle that faces Duke Street, and is the first retail space to be occupied in Carlyle. For such a prime location, staff would have preferred a larger retailer, or at least one that would trigger other high end retailers to locate to the area. Additionally, it would be better if the retail use were one that would draw new patrons to the area, one that people may go out of their way to visit, and one that would attract other strong retail businesses to locate to the area. This application proposes to occupy the space with a major fast food chain. From an economic development standpoint, staff would have preferred a different use of the space.

However, the landlord has informed staff about the difficulty it has had attracting other retail businesses given that the Patent and Trade Office (PTO) still has about two years until completion, and there is still not enough concentration of potential patrons in the area to ensure success. The building owners are unwilling to have the space remain vacant for such a long time in anticipation of the completion of PTO. In addition, the Subway use will add more pedestrian activity on the street and will offer a convenient location for area office users and residents.

Further, the applicant has worked with staff and agreed to significant changes to improve the decor, moving away from the typical Subway design which caters to a fast food environment including plastic seats, bright lighting, and the familiar yellow signage. The applicant proposes a more European style café with dimmer lighting for a more comfortable café feel. Details include wooden and cloth chairs, soft colored wall coverings, redesigned menu boards, and other decorative features. The applicant is also proposing to install green awnings over the entrance and windows on the exterior of the space, with minimal signage over the entrance, that will enhance the streetscape. (See attached pictures). The restaurant will also offer a greater variety of food choices than the typical Subway and include a salad bar and breakfast items with baked goods and gourmet coffee.

Staff also discussed the potential for outdoor seating immediately outside the Subway Café space and the applicant is willing to include that feature if there is adequate space for tables and chairs as well as the required handicap access.

Therefore, staff supports the Subway Café located at 1800 Duke Street. Staff has included a condition requiring a one year review of the restaurant to ensure that the proposed design elements and enhanced operation are enough to ensure that it does not cause any negative economic impacts in the Carlyle development. Staff has also included the standard restaurant conditions.

With these conditions, staff recommends approval of the special use permit.

STAFF: Eileen P. Fogarty, Director, Department of Planning and Zoning;  
Barbara Ross, Deputy Director;  
Valerie Peterson, Urban Planner.

CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Transportation & Environmental Services:

- C-1 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line.
- R-1 Kitchen equipment shall not be cleaned outside, nor shall any cooking residue be washed into the streets, alleys or storm sewers.
- R-2 The applicant shall control cooking odors, smoke and any other air pollution from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Department of Transportation & Environmental Services.
- R-3 Loudspeakers shall be prohibited from the exterior of the building, and no amplified sounds shall be audible at the property line

Code Enforcement:

- C-1 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-2 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-3 A fire prevention code permit is required for the proposed operation. An egress plan showing fixture location, aisles and exit doors shall be submitted for review with the permit application.
- C-4 A construction permit is required for the proposed project.
- C-5 the following code requirements apply where food preparation results in the development of grease laden vapors:
  - (a) All cooking surfaces, kitchen exhaust systems, grease removal devices and hoods are required to be protected with an approved automatic fire suppression system.



- (b) A grease interceptor is required where there is drainage from fixtures and equipment with grease-laden waste located in food preparation areas of restaurants. Food waste grinders can not discharge to the building drainage system through a grease interceptor.
- C-6 A rodent control plan shall be submitted to this office for review and approval prior to occupancy. This plan shall consist of the following:
  - (a) Measures to be taken to control the placement of litter on-site and the trash storage and pickup schedule.
  - (b) How food stuffs will be stored on-site.
  - (c) Rodent baiting plan.
- C-7 A Certificate of occupancy shall be obtained prior to any occupancy of the building or portion thereof, in accordance with USBC 118.0.

Health Department:

- C-1 An Alexandria Health Department Permit is required for all regulated facilities.
- C-2 Five sets of plans are to be submitted to and approved by this department prior to construction. Plans must comply with the Alexandria City Code, Title 11, Chapter 2, Food and Food Establishments. There is a \$135.00 fee for review of plans for food facilities.
- C-3 Permits must be obtained prior to operation.
- C-4 This facility must comply with the Alexandria City Code, Title 11, Chapter 10, Smoking Prohibitions.
- C-5 Certified Food Managers must be on duty during all hours of operation.
- C-6 Provide a menu or list of foods to be handled at this facility to the Health Department prior to opening.

Police Department:

- R-1 Security survey for the business.
- R-2 Robbery awareness program for all employees.

APPLICATION for SPECIAL USE PERMIT # 2002-0095

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PROPERTY LOCATION: 1800 DUKE ST.

TAX MAP REFERENCE: 073-02-09-01 ZONE: CDD #1

APPLICANT Name: SUBWAY REAL ESTATE CORP. c/o SUBWAY DEVELOPMENT CO

Address: 8280 GREENSBORO DR #110 McLEAN, VA. 22102

PROPERTY OWNER Name: SOCIETY FOR HUMAN RESOURCE MANAGEMENT SUITE 1C

Address: 1800 DUKE ST. ALEXANDRIA, VA. 22314

PROPOSED USE: SUBWAY® SANDWICH SHOP

THE UNDERSIGNED hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301(B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Planning Commission or City Council in the course of public hearings on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

Christopher Decre  
Print Name of Applicant or Agent

[Signature]  
Signature

8280 Greensboro Dr. #110  
Mailing/Street Address

703-790-1010 703-790-1119  
Telephone # Fax #

McLean VA 22102  
City and State Zip Code

8/30/02  
Date

DO NOT WRITE BELOW THIS LINE - OFFICE USE ONLY

Application Received: \_\_\_\_\_ Date & Fee Paid: \_\_\_\_\_ \$ \_\_\_\_\_

ACTION - PLANNING COMMISSION: \_\_\_\_\_

ACTION - CITY COUNCIL: \_\_\_\_\_

All applicants must complete this form. Supplemental forms are required for child care facilities, restaurants, automobile oriented uses and freestanding signs requiring special use permit approval.

1. The applicant is (check one) ☐ the Owner ☐ Contract Purchaser  
☒ Lessee or ☐ Other: \_\_\_\_\_ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership in which case identify each owner of more than ten percent.

SUBWAY REAL ESTATE CORP.  
(OWNED BY DOCTOR'S ASSOCIATES, INC.)

If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

- ☐ Yes. Provide proof of current City business license  
☐ No. The agent shall obtain a business license prior to filing application, if required by the City Code.

2. Submit a floor plan and a plot plan with parking layout of the proposed use. One copy of the plan is required for plans that are 8½" x 14" or smaller. Twenty-four copies are required for larger plans or if the plans cannot be easily reproduced. The planning director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver. This requirement does not apply if a Site Plan Package is required.

## **NARRATIVE DESCRIPTION**

The request for the SUP is to allow a Subway® sandwich shop to be built in the retail space at 1800 Duke Street. This location will not be our typical Subway® location but will be our prototype concept called Subway Café®. This is a new concept that gives a much more upscale look. As you can see from the pictures that follow, it is a more Euro style look, which gives the customers a much warmer feel. As this space is in the Carlyle Development, we wanted to put in a location that would appeal to the level clientele in the area. We expect to have a significant lunch business as most of our customer base will be from the surrounding offices.

In addition to the standard Subway® menu, which features a wide variety of hot and cold sub-style sandwiches (on a variety of gourmet breads), salads, cookies, chips, drinks and other desert items; we also will be offering gourmet coffee, soups, and a salad bar with a different types of salads that will be changed daily. We will also be offering breakfast, which has a variety of hot breakfast sandwiches, omelets and assorted bake good items.

We would expect an average of 1500 hundred customers a week to visit this location. The hours of operation will be from 7am until 10pm, 7 days a week. There will be no more than 6 and no less than 2 staff members on duty at anytime.

**USE CHARACTERISTICS**

4. The proposed special use permit request is for: (check one)

- ☒ a new use requiring a special use permit,  
☐ a development special use permit,  
☐ an expansion or change to an existing use without a special use permit,  
☐ expansion or change to an existing use with a special use permit,  
☐ other. Please describe: \_\_\_\_\_

5. Please describe the capacity of the proposed use:

A. How many patrons, clients, pupils and other such users do you expect? Specify time period (i.e., day, hour, or shift).

NO MORE THAN 20 PATRONS PER HOUR  
(PEAK HOURS 11 AM TO 3 PM)

B. How many employees, staff and other personnel do you expect? Specify time period (i.e., day, hour, or shift).

NO MORE THAN 6 STAFF PER HOUR  
(PEAK HOURS 11 AM TO 3 PM)

6. Please describe the proposed hours and days of operation of the proposed use:

Day:

Hours:

SUNDAY  
MONDAY - THURSDAY  
FRIDAY - SATURDAY  
\_\_\_\_\_  
\_\_\_\_\_

10 AM - 10 PM  
7 AM - 10 AM  
7 AM - 12 MIDNIGHT  
\_\_\_\_\_  
\_\_\_\_\_

7. Please describe any potential noise emanating from the proposed use:

A. Describe the noise levels anticipated from all mechanical equipment and patrons.

MINIMAL NOISE FROM PATRON CONVERSATION. NO  
EQUIPMENT NOISE AUDIBLE OUTSIDE PREMISES.

B. How will the noise from patrons be controlled?

MANAGER ON DUTY WILL ASSESS & ADDRESS ANY  
NOISE PROBLEMS.

8. Describe any potential odors emanating from the proposed use and plans to control them:

NO ODOR PROBLEMS

9. Please provide information regarding trash and litter generated by the use:

A. What type of trash and garbage will be generated by the use?

CARDBOARD BOXES & PATRON GARBAGE

B. How much trash and garbage will be generated by the use?

3-4 35 GALLON BAGS / DAY

C. How often will trash be collected?

TWICE / WEEK

D. How will you prevent littering on the property, streets and nearby properties?

STAFF WILL MAINTAIN CLEAN PREMISES, INSIDE  
AND OUTSIDE STORE.

10. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

☐ Yes. ☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

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11. Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

☐ Yes. ☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

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12. What methods are proposed to ensure the safety of residents, employees and patrons?

ALARM & VIDEO EQUIPMENT WITH MANAGER ON  
DUTY AT ALL TIMES.

#### ALCOHOL SALES

13. Will the proposed use include the sale of beer, wine, or mixed drinks?

☐ Yes. ☒ No.

If yes, describe alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales. Existing uses must describe their existing alcohol sales and/or service and identify any proposed changes in that aspect of the operation.

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**PARKING AND ACCESS REQUIREMENTS**

14. Please provide information regarding the availability of off-street parking:

A. How many parking spaces are required for the proposed use pursuant to section 8-200 (A) of the zoning ordinance?

\_\_\_\_\_

B. How many parking spaces of each type are provided for the proposed use:

\_\_\_\_\_ Standard spaces

\_\_\_\_\_ Compact spaces

\_\_\_\_\_ Handicapped accessible spaces.

\_\_\_\_\_ Other.

C. Where is required parking located? ☒ on-site ☐ off-site (check one)

If the required parking will be located off-site, where will it be located:

\_\_\_\_\_

Pursuant to section 8-200 (C) of the zoning ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

D. If a reduction in the required parking is requested, pursuant to section 8-100 (A) (4) or (5) of the zoning ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

15. Please provide information regarding loading and unloading facilities for the use:

A. How many loading spaces are required for the use, per section 8-200 (B) of the zoning ordinance? N/A

B. How many loading spaces are available for the use? 1

C. Where are off-street loading facilities located? SIDE OF BUILDING & LOADING DOCK

\_\_\_\_\_



D. During what hours of the day do you expect loading/unloading operations to occur?

10 am to 4 pm

E. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?

2 per week

16. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

NA

#### SITE CHARACTERISTICS

17. Will the proposed uses be located in an existing building? ☒ Yes ☐ No

Do you propose to construct an addition to the building? ☐ Yes ☒ No

How large will the addition be? \_\_\_\_\_ square feet.

18. What will the total area occupied by the proposed use be?

1674 sq. ft. (existing) + 0 sq. ft. (addition if any) = 1674 sq. ft. (total)

19. The proposed use is located in: (check one)

☐ a stand alone building ☐ a house located in a residential zone ☐ a warehouse

☐ a shopping center. Please provide name of the center: \_\_\_\_\_

☒ an office building. Please provide name of the building: MICHAEL R. LOSSY, BUILDING

☐ other, please describe: \_\_\_\_\_

**RESTAURANT SUPPLEMENTAL APPLICATION**

All applicants requesting special use permit approval for restaurants shall complete the following section. Applicants requesting approval of a special use permit for a restaurant in Old Town shall complete the SUPPLEMENTAL INFORMATION FOR RESTAURANTS IN OLD TOWN section and submit the required parking management plan and litter reduction plan.

Please provide the following information:

1. How many seats are proposed?

At tables: 50 At a bar: \_\_\_\_\_ Total number proposed: 50

2. Will the restaurant offer any of the following?

\_\_\_\_\_ alcoholic beverages \_\_\_\_\_ beer and wine (on-premises)

\_\_\_\_\_ beer and wine (off-premises)

3. Please describe the type of food that will be served:

SUB SANDWICHES AND SALADS, COOKIES, BOTTLE &  
FOUNDATION DRINKS.

4. The restaurant will offer the following service (check items that apply):

\_\_\_\_\_ table service \_\_\_\_\_ bar X carry-out \_\_\_\_\_ delivery

5. If delivery service is proposed, how many vehicles do you anticipate? \_\_\_\_\_

Will delivery drivers use their own vehicles? \_\_\_\_\_ Yes. X No.

6. Will the restaurant offer any entertainment (i.e. live entertainment, large screen television, video games)? \_\_\_\_\_ Yes. X No.

If yes, please describe: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

# "NEW LOCATION"

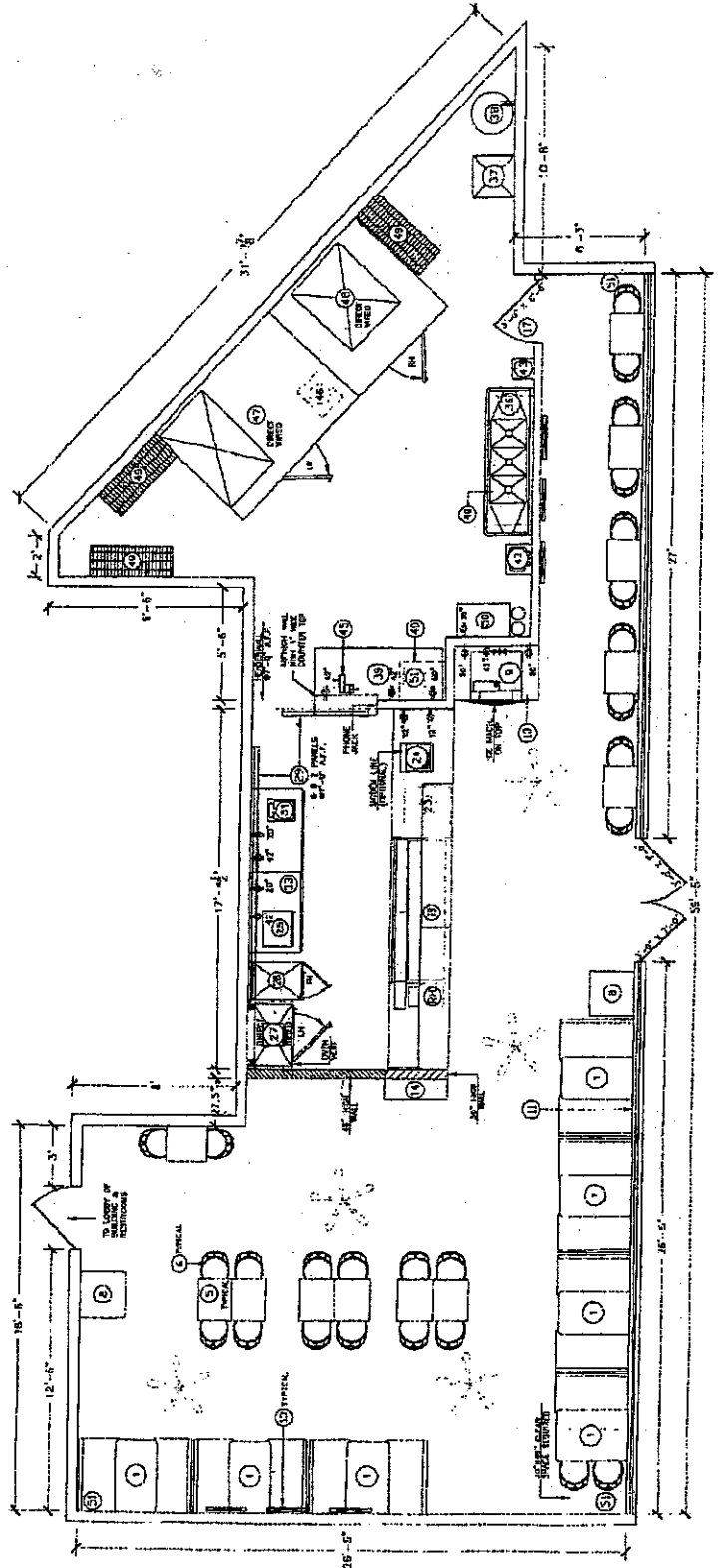
PLEASE NOTE: THIS SCALE THIS FLOOR PLAN  
CANNOT BE USED FOR CONSTRUCTION OF THE  
BUILDING. IT IS FOR INFORMATION ONLY.

STORE CONCEPT	
ALL DIMENSIONS MUST BE VERIFIED	
PROJECT	ROY KANE
STORE NAME	1600 DUKE STREET ALEXANDRIA, VA
OWNER	LARRY FELDMAN
DATE	1/4" = 1'
DATE	AUGUST 8, 2002
DESIGN BY	SCOTT GOLDIN

- NOTES:
- 1. ALL ELECTRICAL JUNCTION BOX IS TO BE LOCATED ABOVE THE CEILING AT EACH VENDING MACHINE.
  - 2. PLEASE VERIFY ALL DIMENSIONS BEFORE REQUESTING A FULLSET OF FLOORPLANS.
  - 3. ALL ELECTRICAL OUTLETS ARE MEASURED FROM THE BOTTOM OF THE OUTLET BOX.
  - 4. PLEASE VERIFY LOCATION OF ELECTRICAL.
  - 5. CEILING HEIGHT = 10'-0" (SHEETROCK CEILING).
  - 6. THIS DESIGN INCLUDES COLOR SCHEMATIC BOOTH SEATING.

NOTE: THESE PLANS ARE FOR REVIEW ONLY AND ARE NOT TO BE CONSTRUED AS FINAL APPROVAL.

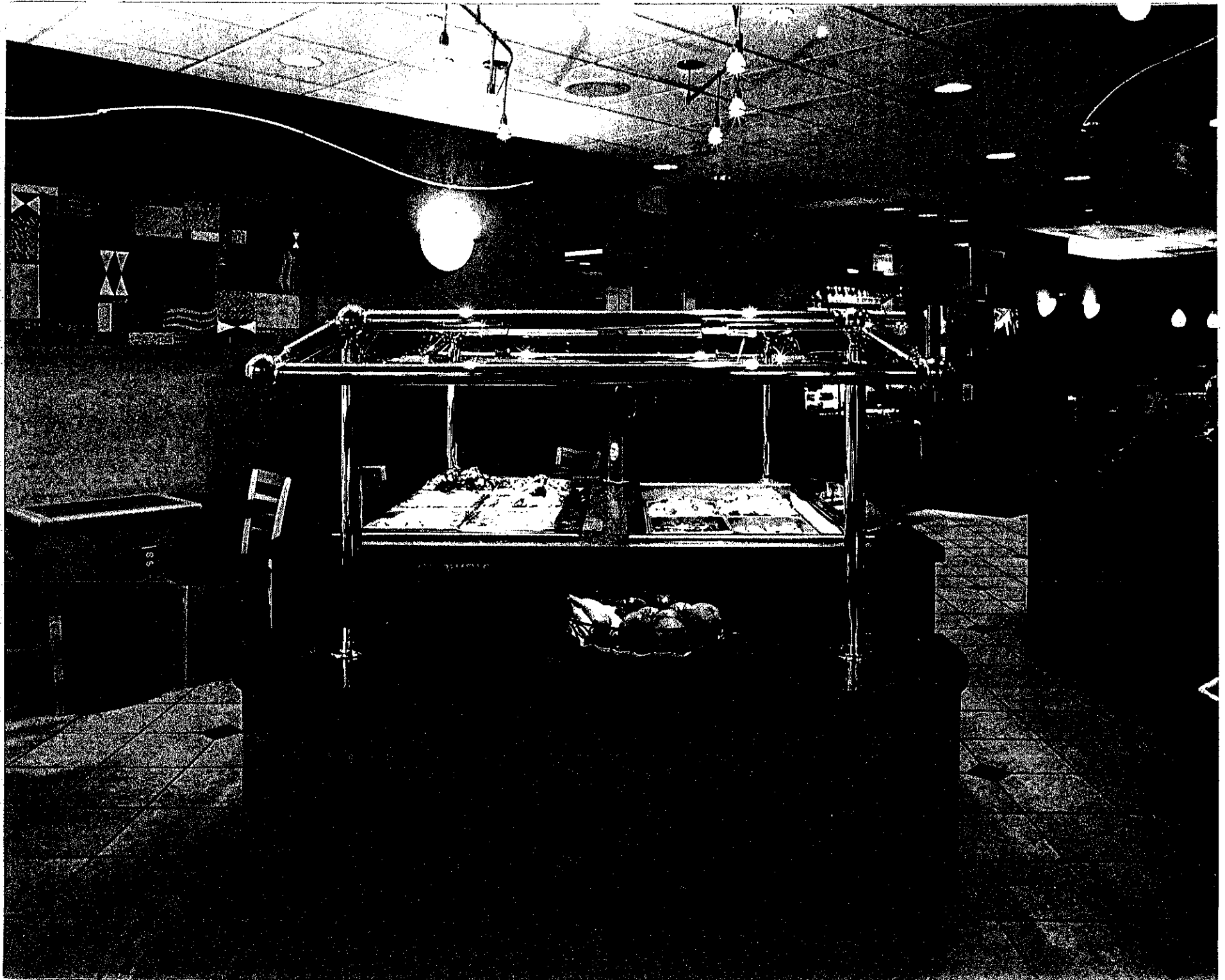
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49. 100% PLAN	50. 100% PLAN
51. 100% PLAN	52. 100% PLAN



# **Interior Pictures**











# **Proposed Signs**



(1) SET OF WHITE GRAPHICS APPLIED TO CENTER AWNING

PRODUCTION WILL NOT BEGIN  
WITHOUT A SIGNED & CHECKED  
WRITTEN APPROVAL

Please Review Carefully. Check the  
Appropriate Box & Fax Back to:  
703-631-7899

- ☐ APPROVAL  
☐ APPROVAL W/ CORRECTION  
☐ DISAPPROVAL

By checking this box, you agree to be responsible  
for the design and production of the sign.

SGN:

**colorad**  
EXHIBITS AND SIGNAGE

This original design is the exclusive  
property of Color Ad Incorporated.  
Any unauthorized use in whole or  
in part is strictly prohibited and will  
be prosecuted to the fullest extent  
of the law.

SUBWAY CAFE  
REPRESENTATIVE: MATT  
DRAWN BY: PT  
DRAWING # 446171  
SHEET 6 OF 6  
11/13/02  
SCALE: 3/16" = 1'-0"

# APPLICATION for SPECIAL USE PERMIT # 2002-0095

3

[must use black ink or type]

PROPERTY LOCATION: 1800 DUKE ST.

TAX MAP REFERENCE: 073-02-09-01 ZONE: CDD #1

APPLICANT Name: SUBWAY REAL ESTATE CORP. c/o SUBWAY DEVELOPMENT CORP.

Address: 8280 GREENSBORO DR #110 McLEAN, VA. 22102

PROPERTY OWNER Name: SOCIETY FOR HUMAN RESOURCE MANAGEMENT SUITE 102

Address: 1800 DUKE ST. ALEXANDRIA, VA. 22314

PROPOSED USE: SUBWAY® SANDWICH SHOP

THE UNDERSIGNED hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301(B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Planning Commission or City Council in the course of public hearings on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

Christopher Decre  
Print Name of Applicant or Agent

[Signature]  
Signature

8280 Greensboro Dr. #110  
Mailing/Street Address

703-790-1010 703-790-1119  
Telephone # Fax #

McLean VA 22102  
City and State Zip Code

8/30/02  
Date

DO NOT WRITE BELOW THIS LINE - OFFICE USE ONLY

Application Received: \_\_\_\_\_ Date & Fee Paid: \_\_\_\_\_ \$

ACTION - PLANNING COMMISSION: 12/3/2002 RECOMMEND APPROVAL UC

ACTION - CITY COUNCIL: 12/14/02PH--CC approved the Planning Commission recommendation.